

NEW RESIDENCE FOR CHRIS HENDRIX
BEN ABBOTT RD.
MARYVILLE, TN



GENERAL NOTES

TYPICAL EXTERIOR WALL:

-VINYL SIDING OR MASONRY VENEER (HOUSE WRAP BEHIND ALL MASONRY), 7/16" OSB SHEATHING, 2x4 FRAMING @ 16" O.C. W/ DBL. TOP PLATE, R-13 INSULATION, 1/2" DRYWALL. WOOD FRAMED EXTERIOR WALLS 16" O.C. ARE BRACED BY 48" WIDE OSB STRUCTURAL SHEATHING.
-WHEN NOTCHING A WALL STUD EXCEEDING 25 % OR A HOLE EXCEEDS 40%, A STUD BRACKET MUST BE INSTALLED
-20 MIN. FIRE RATED DOOR TO BE INSTALLED FROM GARAGE INTO HOUSE
-GARAGES MUST HAVE A MINIMUM OF 1/2" GYPSUM BOARD INSTALLED ON THE WALL JOINING THE RESIDENCE AND ON THE CEILING. ALL PENETRATIONS MUST BE SEALED. -ALL HEADERS TO BE 2-2X10 UNLESS SPAN EXCEEDS 10' SUPPORTING ROOF OR 8' ONE STORY ABOVE THEN 2-2X12 WILL BE USED.

BRICK:

WALL TIES SPACED 24" O.C. HOR. MAX. AND 3.25 SQ. FT. WALL AREA PER TIE MAX. MOISTURE PROTECTION REQUIRED FOR STUDS AND SHEATHING. OPENINGS (16" CLEAR SPAN OR GREATER)USE FOR BEARING HEADERS OVER DOUBLE GARAGE DOOR 2-2X12 WITH 1/4" STEEL FLITCH PLATE OR "LVL " BEAM OR EQUAL

FIREPLACES:

FACTORY BUILT FIREPLACE SHALL BE TESTED AND APPROVED BY A RECOGNIZED AGENCY AND INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS. HEARTH SHALL BE CONSTRUCTED OF AND REST ON NON-COMBUSTIBLE MATERIAL.

STAIRS: STAIRS RISERS 7 3/4" MAXIMUM, TREADS 10" MINIMUM, HAND RAILS 30"-34" HIGH. ADJUST STAIRS AS REQ'D. PER CODES AND HEIGHT REQUIREMENTS.

BEAMS:

BEAM AS REQ'D. INDICATES BEAM WILL BE SIX PER STANDARD SPAN CHARTS OR BEAM MANUFACTURES, AS WELL AS TRUSS MANUFACTURES. LARGE SPANS MAY REQUIRE A LOCAL ENGINEER TO REVIEW.

SMOKE DETECTORS:

SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE OF EACH SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND IN THE GARAGE. ALL DETECTORS SHALL BE INTERCONNECTED AND THE ALARM SHALL BE AUDIBLE IN ALL SLEEPING AREAS. PRIMARY POWER SHALL BE FROM THE BUILDING WIRING AND BATTERY BACK-UP IS REQUIRED.

PLUMBING AND MECHANICAL:

- ALL PLUMBING MUST BE INSTALLED BY THE CODE AND ALL PLUMBING MATERIALS AND APPLIANCES MUST ALSO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- SANITARY OR VENT TEES CAN ONLY BE USED FOR VENTING OR FROM HORIZONTAL TO VERTICAL ONLY.
- ON CRAWL, COPPER OR PLASTIC WATER PIPING MUST BE HUNG BY STRAPS EVERY 6 FT. DRAINAGE, WASTE, AND VENT PVC PIPE MUST BE HUNG EVERY 4 FT.
- 2" AND SMALLER DRAIN PIPE MUST SLOPE 1/4" PER FOOT MIN, DRAIN PIPE LARGER THAN 2" MUST SLOPE 1/8" PER FOOT MIN.
- THE STRUCTURE MUST HAVE AT LEAST ONE 3" VENT THROUGH THE ROOF. ALL FIXTURES MUST BE VENTED IN SOME WAY AS PER THE CODE
- WATER PIPING COMING INTO THE HOUSE MUST BE 3/4" MIN. HOT OR COLD WATER PIPING MUST BE 1/2" MIN.
- ALL MECHANICAL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER THE CODE AND MANUFACTURERS INSTRUCTIONS.

FRAMING:

GIRDERS: SUGGESTED DROPPED 3-2X10 OR 2-2X12 W/ 2X2 LEDGERS EACH SIDE JOIST = 2X10 16" O.C.
FLOOR TRUSSES = 18" DEEP AT 16" OR 19.2 ON CENTER
ROOF TRUSSES = 2X4 ENERGY HEAL PRE-ENGINEERED

EGRESS:

EACH BEDROOM MUST HAVE A SECOND MEANS OF ESCAPE. ONE WINDOW MUST HAVE A CLEAR OPENING OF 5 SQ. FT. 1st FLOOR, 1 SQ. FT. 2nd FLOOR OBTAINED WITHOUT THE USE OF TOOLS. SILL HEIGHT 44" OR LESS FROM INSIDE FLOOR. (MIN. NET CLEAR OPENING WIDTH 20" - HEIGHT 41.2" OR HEIGHT 24" - WIDTH 34.2 ")

INSULATION:

REQUIREMENTS: (base on zone 4, 2018-International Energy Conservation Code Ch. 4 Table R402.1.2)

ATTIC/CEILING	R-49
WALLS	R-20 or R-13cavity insulation +R5 of continuous insulation
FLOORS	R-19
SLAB	R-10/2 ft
BASEMENT WALL	R-10/13 (10 continuous insulation, interior or exterior / 13 cavity insulation)
CRAWL SPACE	R-10/13 (10 continuous insulation, interior or exterior / 13 cavity insulation)

*Authorities having jurisdiction shall amend any or all of these requirements.

FOUNDATION NOTES

CRAWL SPACE VENTILATION & ACCESS:

BUILDER TO PLACE ALL VENTS AND ACCESS DOOR CRAWL SPACE VENTILATION SHAL BE 1 SQ. FT. OF VENT PER 150 FT. OF FLOOR AREA, THERE SHALL BE ONE VENT WITHIN 3' OF EACH CORNERMIN. ACCESS TO BE 18" X 24" MIN.

FOUNDATION WALLS:

8" HOLLOW CORE CONCRETE BLOCK WITH BLOCK EXTENDING 12" BELOW GRADE UNDER BRICK OR STONE AS A BRICK LEDGER. ALL MORTAR MUST BE MIXED PER MANUFACTURER'S INSTRUCTIONS. FILL ALL CELLS AS REQ'D IN RETAINING WALL CONDITIONS.

SILL PLATES:

FLOOR SYSTEM TO BE ANCHORED TO THE FOUNDATION WITH 1/2" DIA. BOLTS PLACED 6" O.C. & NOT MORE THAN 6" FROM CORNER & EXTEND A MIN. OF 7" INTO MASONRY OR CONCRETE.

GIRDERS:

SUGGESTED SIZE 3-2x10's DROPPED UNLESS OTHERWISE REQ'D OR 2-2x12's W/ 2X2 LEDGERS ON BOTH SIDES.

FLOOR JOIST/TRUSS SIZES:

SUGGESTED: JOIST = 2x10 @ 16" O.C. FLOOR TRUSSES = MIN. 18" DEEP @ 16" or 19.2" O.C

FOOTINGS: 24"x10" MIN. CONTINUOUS FOOTING NO LESS THAN 12" BELOW GRADE REINFORCED WITH 2-#4 REBAR CONT. FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED OR 95% COMPACTED SOIL OF UNIFORM DENSITY AND THICKNESS. MIN. 3000 PSI CONCRETE EXTEND 12" MIN. BELOW FINISH GRADE (TYP.)

CONCRETE PEIRS:

16"x16" PIER W/ 24"x24"x12" CONCRETE FOOTING. THE UNSUPPORTED HT. OF MASONRY PIERS SHALL NOT EXCEED 4 TIMES THEIR LEAST DIM. IF HOLLOW, AND 10 TIMES THEIR LEAST DIM. IF FILLED SOLID. CAP SHALL BE 4" SOLID MASONRY OR CONCRETE.

PILASTER:

SUGGESTED SIZE 16"x16"

HVAC OPENINGS:

CONC. LINTELS MUST BE INSTALLED AT HVAC OPENINGS. BUILDER TO LOCATE HVAC OPENINGS.

SLABS:

MIN. 4" THICK CONC. SLAB, MIN. 3500 PSI OVER VAPOR BARRIER AND MIN. 4" CRUSHED STONE (#57 RECOMMENDED). CONCRETE TO BE FIBER-REINFORCED THE USE OF CONTROL JOINTS IS RECOMMENDED GARAGE SLAB MUST SLOPE TOWARD GARAGE DOOR.

IMPORTANT NOTE:

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". MAXIMUM SILL HEIGHT - 44" AFF.

CONTRACTOR TO LOCATE WATER HEATER & A/C UNITS ON SITE

Liability Disclaimer:

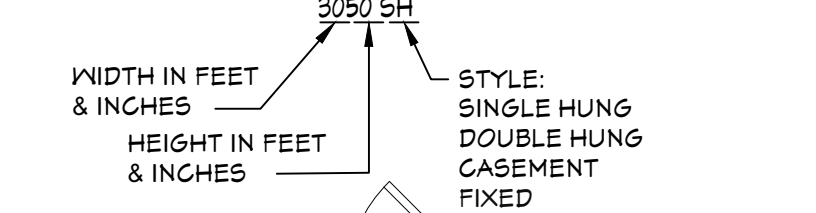
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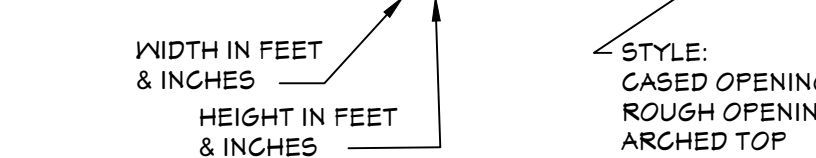
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LEGEND

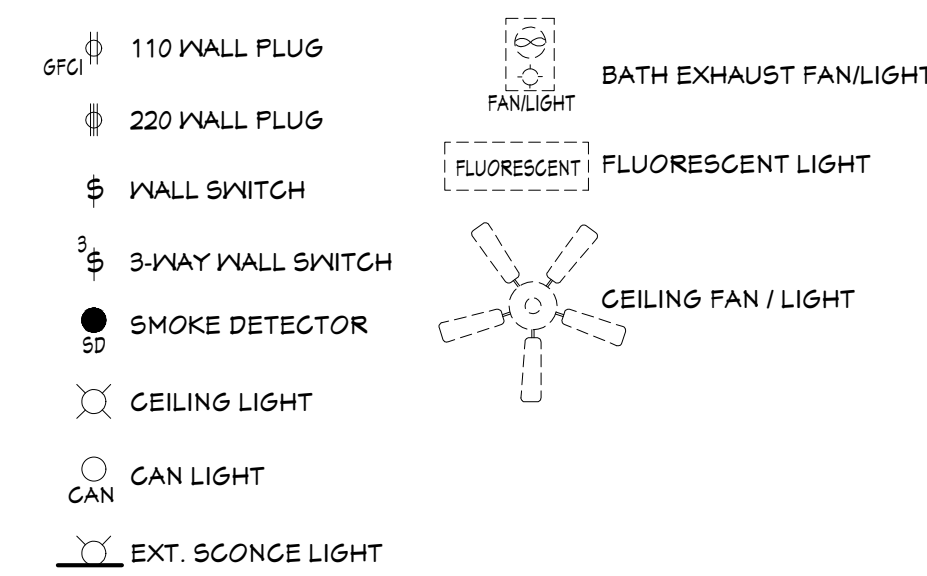
WINDOWS:



DOORS:



ELECTRICAL:



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TOTAL HEATED AREA: 2,245 SF

FIRST FLR: 1,945 SF
SECOND FLR: N/A
FRONT PORCH: 120 SF
UNFINISHED BSMT: 1,800 SF

REAR DECK: 782 SF
GARAGE PATIO: 66 SF
CYRD DECK: 204 SF
BSMNT PATIO: 782 SF

PLAN DESCRIPTION:
COVER PAGE

RESIDENCE FOR:

Chris Hendrix
Ben Abbott Rd.
Maryville, TN

JH DRAFTING & CONSULTING

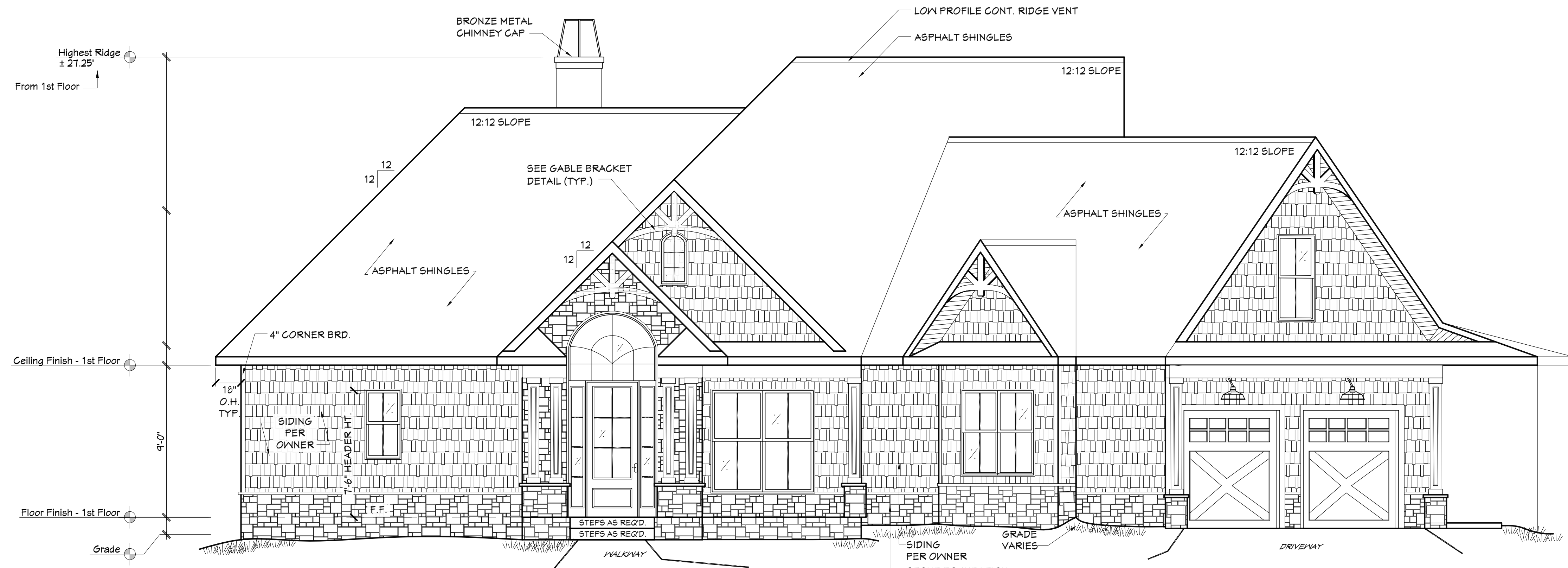
1201 CHANCELLORS CT.
MARYVILLE, TN 37801
PH: (665) 588-4354

DRAWN BY:

REVISIONS	
NO.	DATE
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#2	-
#3	-
FILE NAME: Chris Hendrix-DeButy.dwg	
DRN BY: JEH	APPROVED BY: OWNER
PROJECT NO: 25-008	
DATE: February 20, 2025	

SHEET

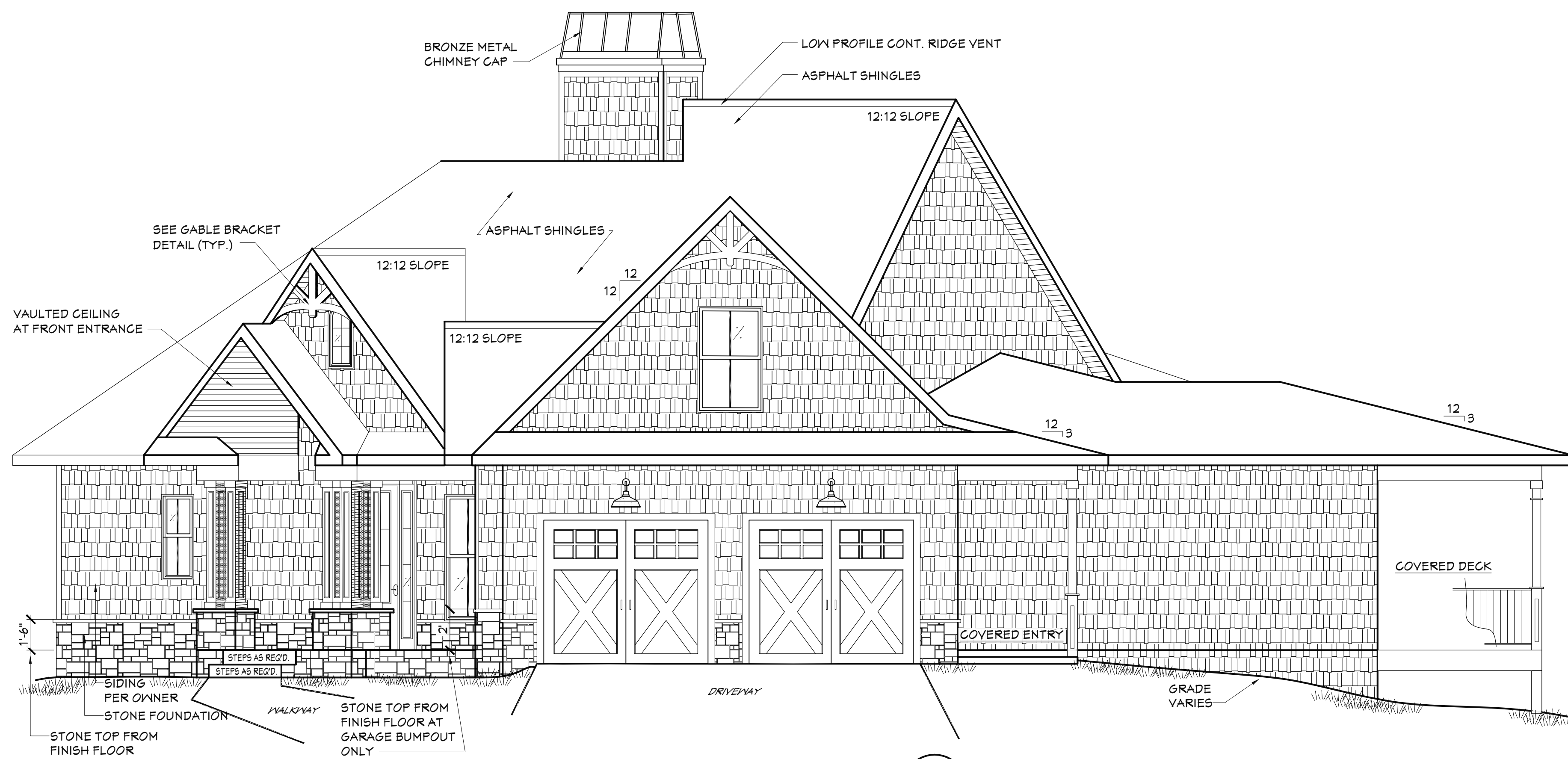
CVR



FRONT ELEVATIONS

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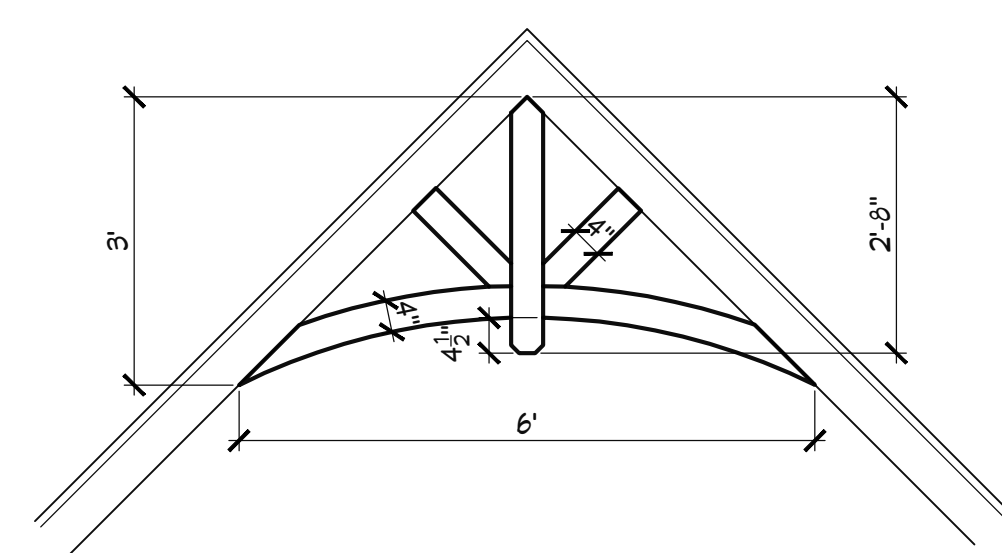
1
A01



RIGHT ELEVATIONS

SCALE: 1/4" = 1'-0"

2
A01



FRONT GABLE BRACKET

SCALE: N.T.S.

3
A01

TOTAL HEATED AREA: 2,245 SF

FIRST FLR: 1,945 SF
SECOND FLR: N/A
FRONT PORCH: 120 SF
UNFINISHED BSMT: 1,800 SF

REAR DECK: 782 SF
GARAGE PATIO: 66 SF
CYRD DECK: 204 SF
BSMT PATIO: 782 SF

PLAN DESCRIPTION:
ELEVATIONS

RESIDENCE FOR:
Chris Hendrix
Ben Abbott Rd.
Maryville, TN

DRAWN BY:

JH DRAFTING & CONSULTING

1201 CHANCELLORS CT.
MARYVILLE, TN 37801
PH: (865) 388-4354

REVISIONS

NO.	DATE
#1	02-13-25
#2	-
#3	-

FILE NAME: Chris Hendrix-DeButy.dwg

DRN BY: JEH
APPROVED BY: OWNER

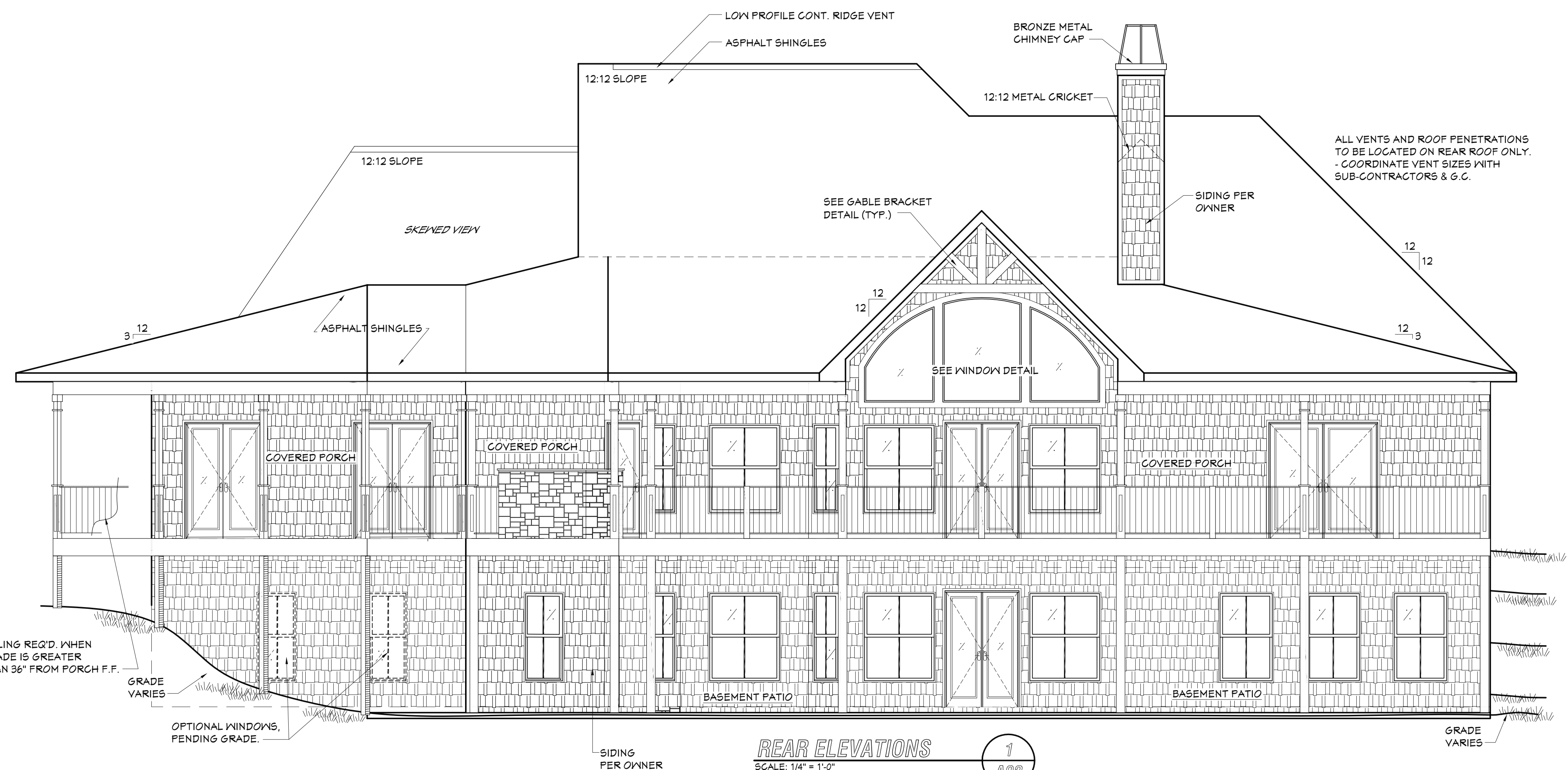
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DATE: February 20, 2025

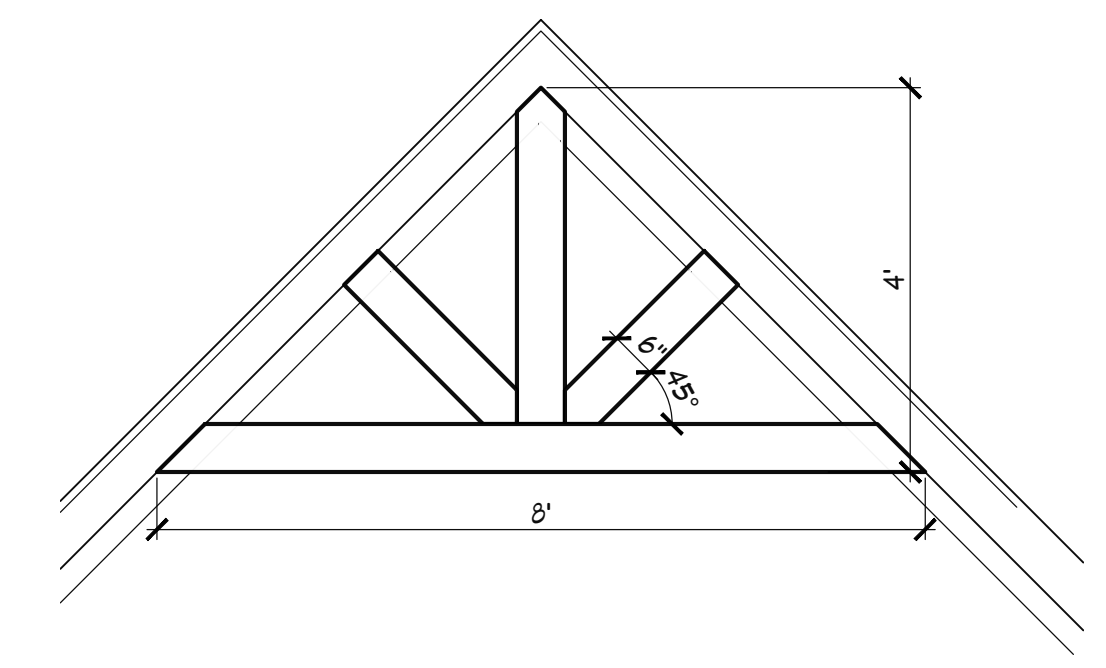
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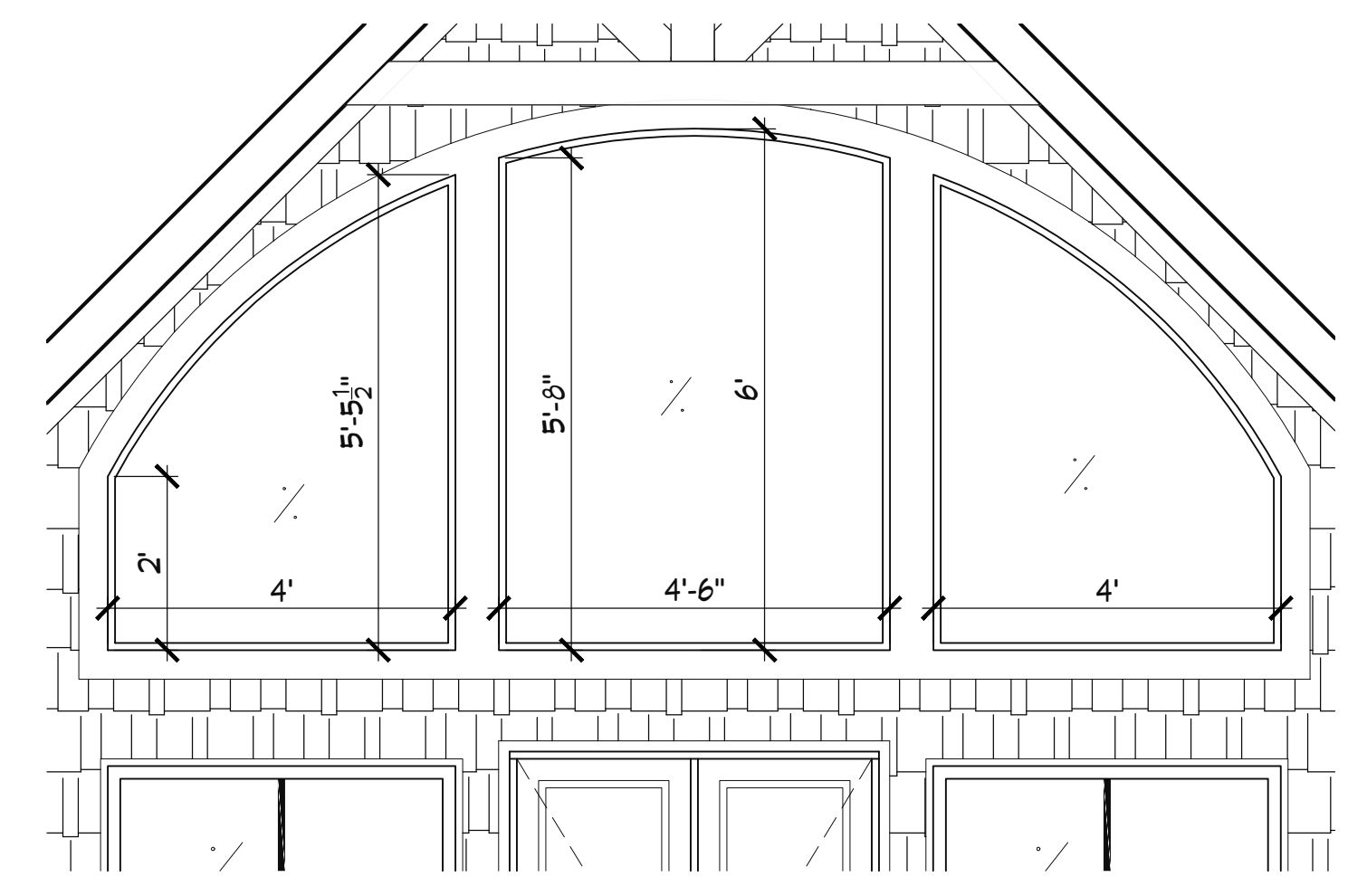
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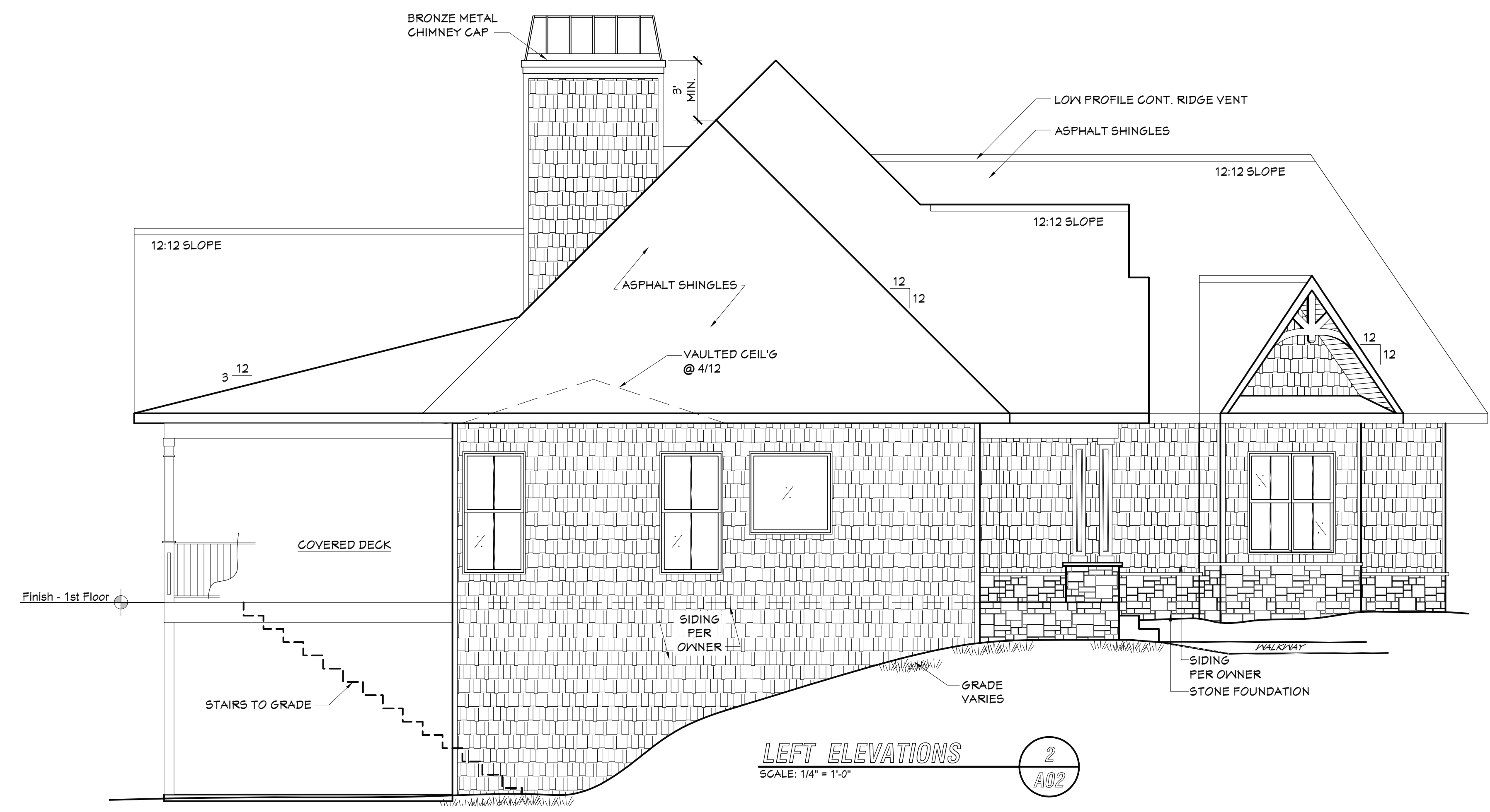
REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



REAR GABLE BRACKET
SCALE: N.T.S.



PICTURE WINDOWS
SCALE: 1/2" = 1'-0"



LEFT ELEVATIONS
SCALE: 1/4" = 1'-0"

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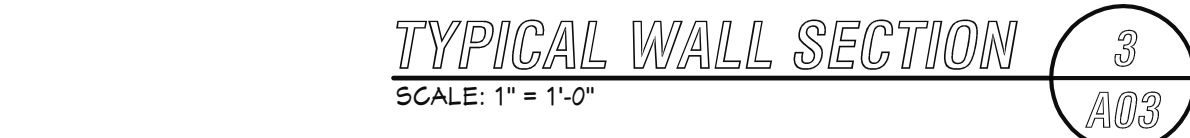
TOTAL HEATED AREA:	2,245 SF
FIRST FLR:	1,945 SF
SECOND FLR:	N/A
FRONT PORCH:	120 SF
UNFINISHED BSMT:	1,600 SF
REAR DECK:	782 SF
GARAGE PATIO:	66 SF
CYRD DECK:	204 SF
BSMT PATIO:	782 SF

PLAN DESCRIPTION:
ELEVATIONS
RESIDENCE FOR:
Chris Hendrix
Ben Abbott Rd.
Maryville, TN

JH DRAFTING & CONSULTING
1201 CHANCELLORS CT.
MARYVILLE, TN 37801
PH: (865) 388-4354

REVISIONS	
NO.	DATE
#1	02-13-25
#2	-
#3	-
FILE NAME Chris Hendrix-DeButy.dwg	
DRN BY: JEH	APPROVED BY: OWNER
PROJECT NO 25-008	
DATE February 20, 2025	

SHEET
A02



- Notes:
1. The builder is responsibly to see that the structure is built in strict compliance with city, county, state and federal codes of the location where the structure is to be built.
 2. The builder must verify all dimensions prior to the commencement of construction, and must report any discrepancies to JH Drafting for justification and/or correction. Builder shall assume responsibility for all errors not reported.
 3. Dimensions should be read or calculated and never scaled.
 4. All angled walls are 45° unless otherwise noted.
 5. All load bearing walls, beam supports and rafter bracing should carry the load thru all levels to the foundation that is designed to carry the load.
 6. All structural beams and load bearing walls are to be designed by a local structural engineer and meet all local codes.
 7. Floor and roof truss drawings must be provided by the truss manufacturer.
 8. Plumbing and HVAC plans should be provided by local contractor.
 9. Square footage calculations are made from the outside of exterior wall and include finished areas only. Areas that are not included are decks, porches, attics, and garages. Two story vaulted areas and stairs are counted once in the first floor square footage. Brick is NOT calculated in the square footage.

DRAWN BY: JH DRAFTING & CONSULTING 1201 CHANCELLORS CT. MARYVILLE, TN 37801 P.H.: (865) 388-4359		PLAN DESCRIPTION: FIRST FLOOR PLAN		TOTAL HEATED AREA: 2,245 SF		THIS DRAWING AND DESIGN ARE THE PROPERTY OF JH DRAFTING & CONSULTING AND ARE NOT TO BE COPIED, REPRODUCED, PUBLISHED OR USED IN WHOLE OR IN PART FOR ANY PROJECT OTHER THAN THAT SPECIFIED HEREIN AND SHALL BE RETURNED AT REQUEST.	
REVISIONS		RESIDENCE FOR: Chris Hendrix ---- Ben Abbott Rd. Maryville, TN		FIRST FLR: 1,895 SF		REAR DECK: 782 SF	
NO.		DATE		SECOND FLR: N/A		GARAGE PATIO: 66 SF	
#1		02-13-25		FRONT PORCH: 120 SF		CYRD DECK: 204 SF	
#2		-		UNFINISHED BSMT: 1,800 SF		BSMT PATIO: 782 SF	
#3		-					
FILE NAME Chris Hendrix-DeBuffy.dwg		DRN BY: JEH		APPROVED BY: OWNER			
PROJECT NO 25-008		DATE February 20, 2025					
SHEET A03							

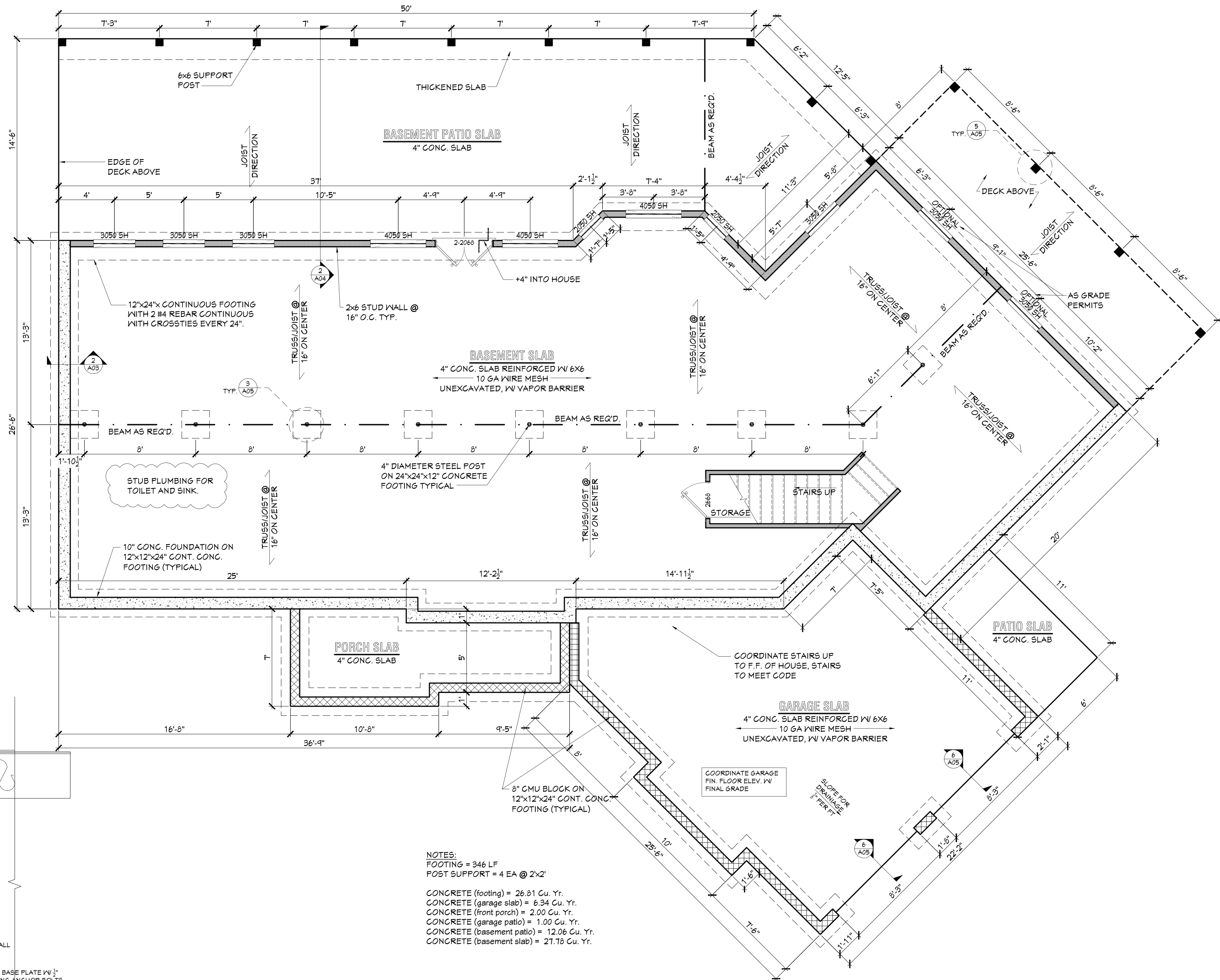
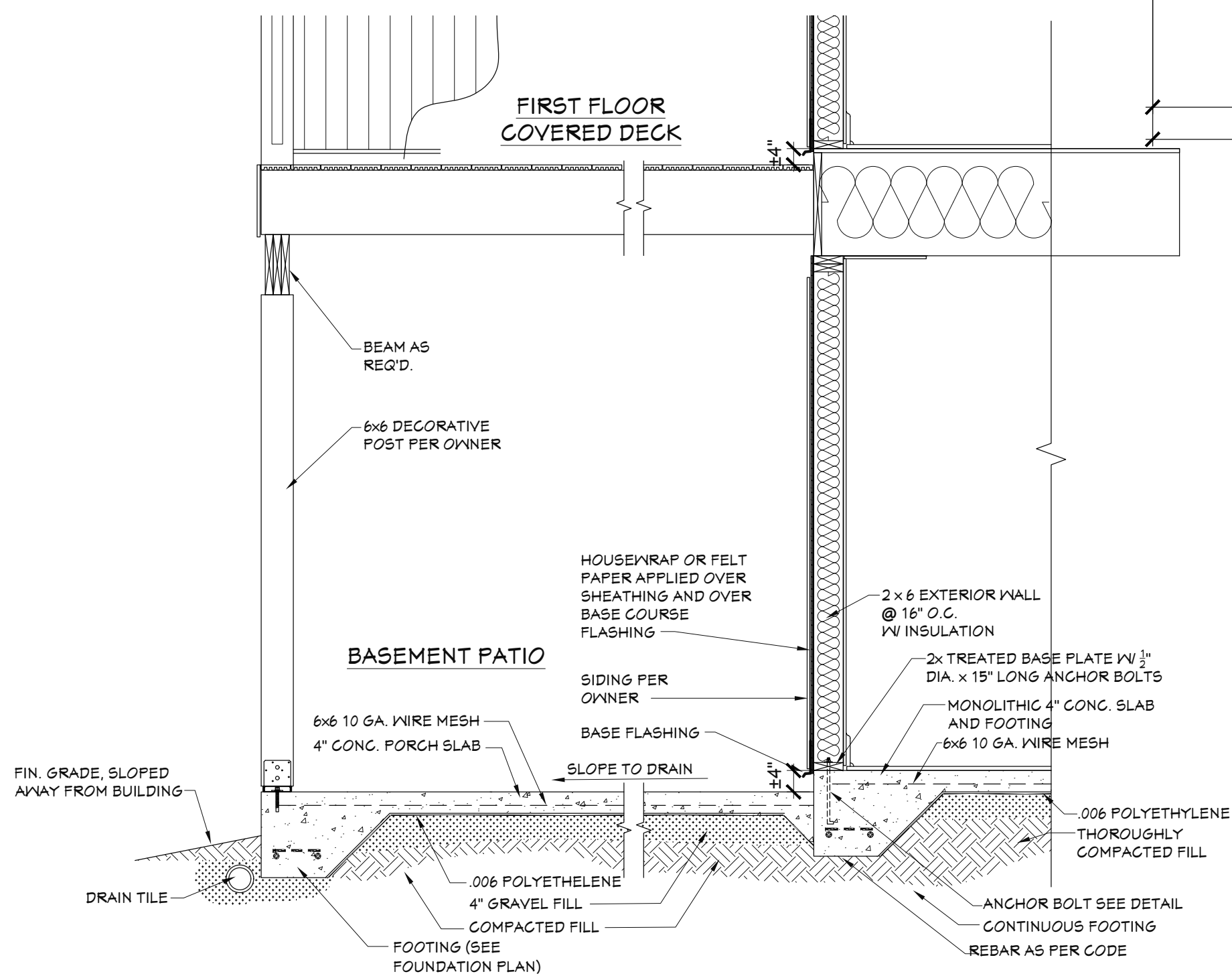
FOUNDATION GENERAL NOTES

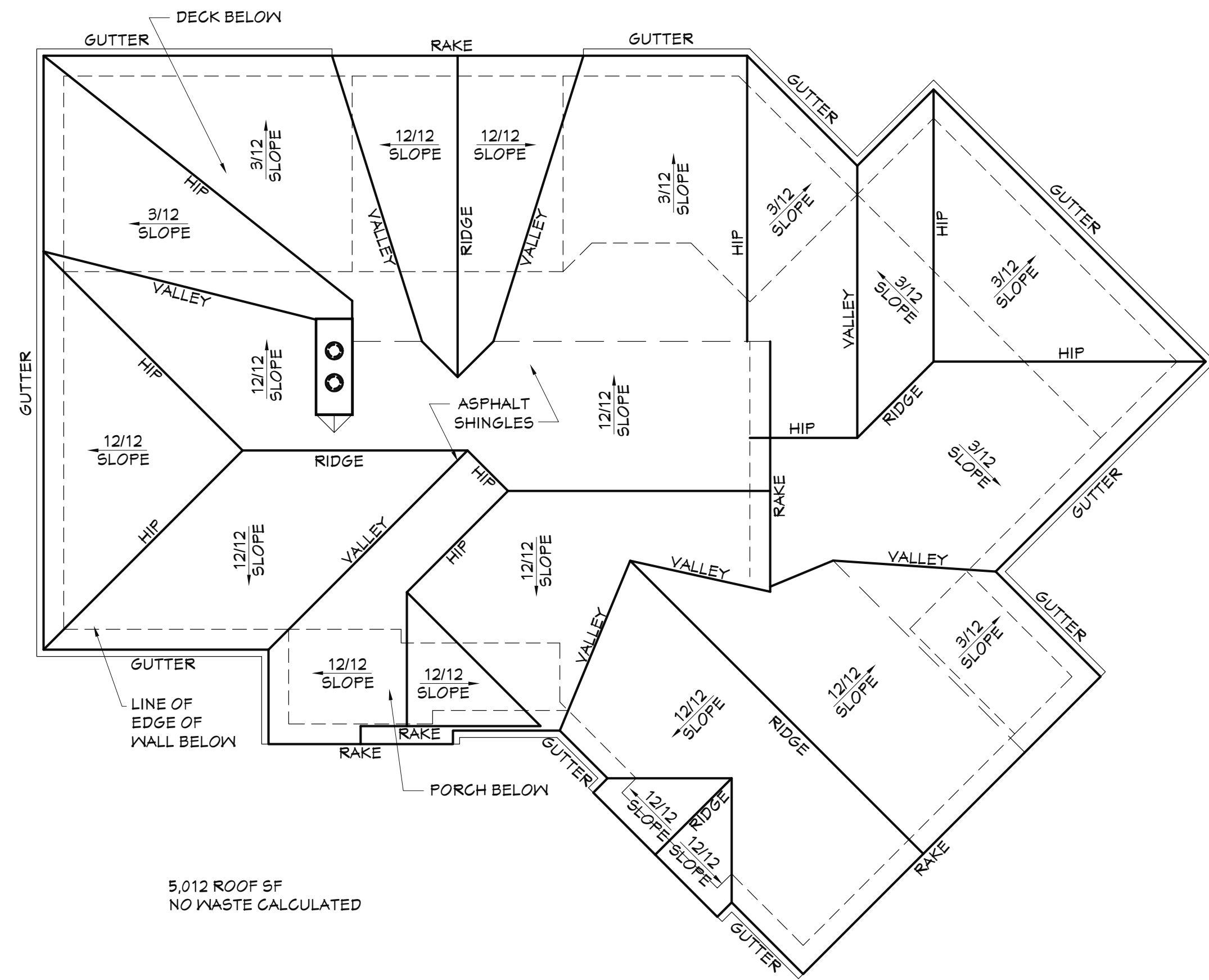
THIS GENERIC FOUNDATION PLAN IS DESIGNED FOR NON EXPANSIVE SOILS WITH A BEARING CAPACITY OF AT LEAST 2500 PSF AND AN EFFECTIVE FRICTION ANGLE OF NO LESS THAN 30°. THIS PLAN IS NOT CERTIFIED FOR A SPECIFIC LOCATION, RECOMMENDED SITE GEOTECHNICAL INVESTIGATION AND COORDINATION OF THE FOUNDATION PLAN WITH SITE CONDITIONS BY A LOCAL ENGINEERING FIRM.

1. CONCRETE SHOULD HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS CONCRETE DESIGN MIX SHOULD BE IN ACCORDANCE WITH ACI-318 (LATEST VERSION).
2. ALL CONVENTIONAL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60). REINFORCING STEEL SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
3. REINFORCEMENT SHALL HAVE 3" COVER IN THE GRADE BEAM BOTTOMS, 3" COVER IN THE BEAM SIDES AND TOPS, 1-1/2" COVER IN THE SLAB TOPS AND THE BOTTOMS, UNLESS NOTED OTHERWISE.
4. 1 LAYER OF 6 MIL POLYETHYLENE VAPOR BARRIER. CONCRETE SHALL BE WELL CONSOLIDATED.
5. THE CONTRACTOR SHALL VERIFY ALL DROPS, OFF-SET, BRICK LEDGES, AND BLOCK CUTS AN ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.
7. ALTERATION TO OR DEVIATION FROM THE INFORMATION SHOWN ON THIS SHEET WITHOUT THE WRITTEN ADVANCED APPROVAL FROM THE ENGINEER WILL VOID DESIGNERS RESPONSIBILITY.
8. THIS PLAN IS FOR GRADE BEAM LOCATION AND REBAR LAYOUT ONLY.
9. ALL SUBGRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY IN A MAXIMUM OF 6" LIFTS.
10. A MINIMUM OF 4" OF CONCRETE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SLAB.
11. ALL RUNOFF WATER SHALL BE CARRIED AWAY FROM THE SLAB TO PREVENT SATURATION OF THE SUBBASE.
12. ALL TREES WITHIN CLOSE PROXIMITY SHALL BE MOVED TO PREVENT THE ROOTS FROM EXTENDING UNDER THE SLAB.
13. REMOVE A MINIMUM OF 6" OF EXISTING SOIL PRIOR TO PLACING ANY FILL.
14. A MAXIMUM OF 2.0 FEET TO FILL MAY BE PLACED ON THE SITE.
15. FOLLOW REQUIREMENTS OF LOCAL JURISDICTIONS FOR REQUIRED DEPTH TO FROST LINE. CONTACT ENGINEER SHOULD REQUIREMENTS EXCEED THE LIMITS OF THIS DESIGN.
16. NO FIELD SUPERVISION PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED.

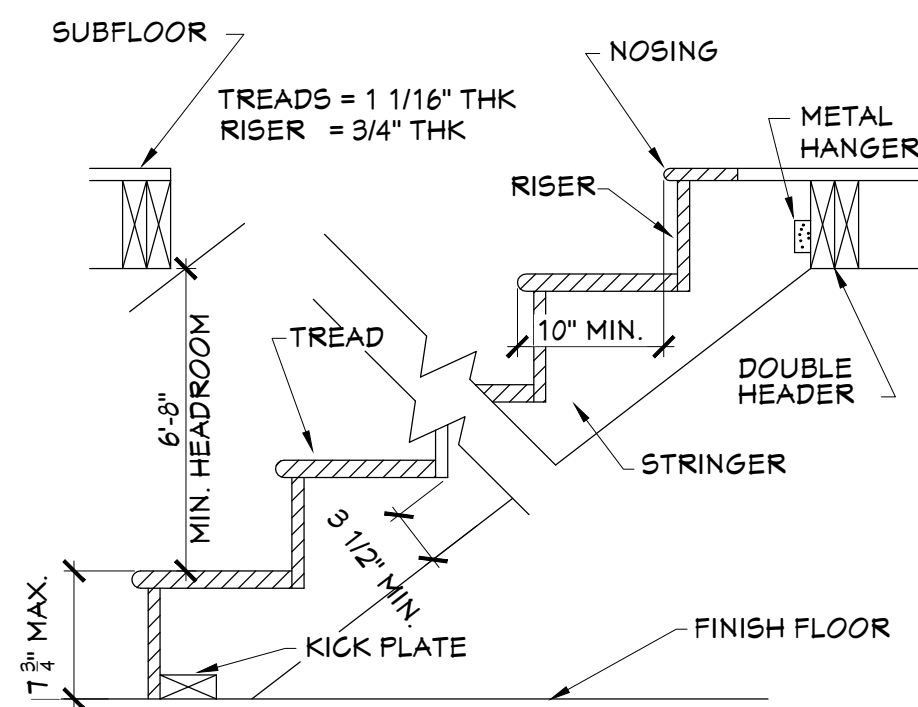
NOTES:

ALL EXTERIOR GRADE BEAMS TO EXTEND BELOW UNDISTURBED SOIL A MINIMUM OF 12".
ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF CMU BLOCK

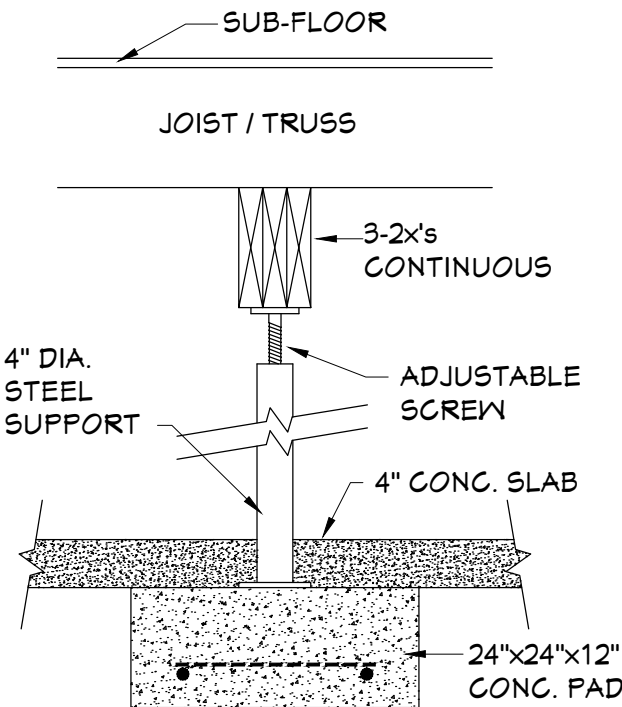




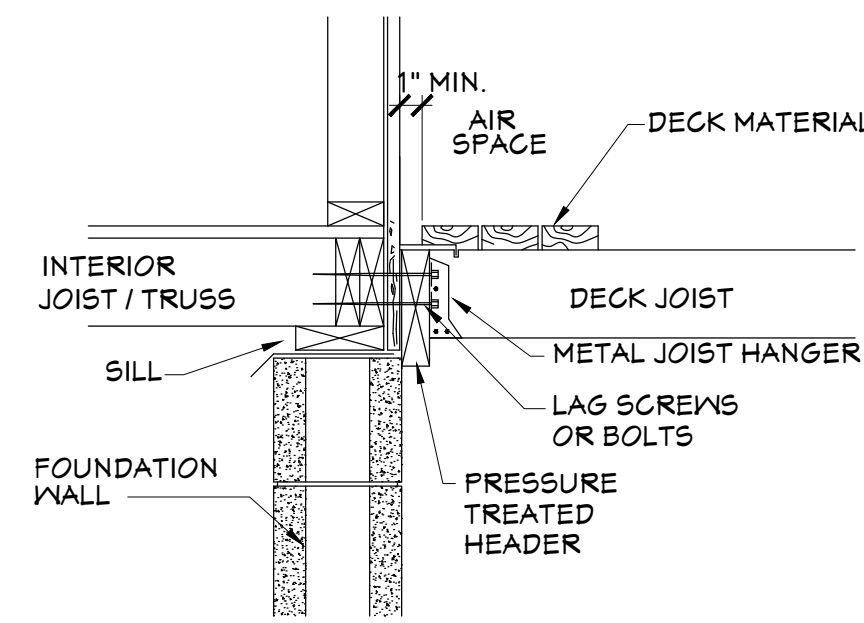
ROOF PLAN
SCALE: 1/8" = 1'-0"
1
A05



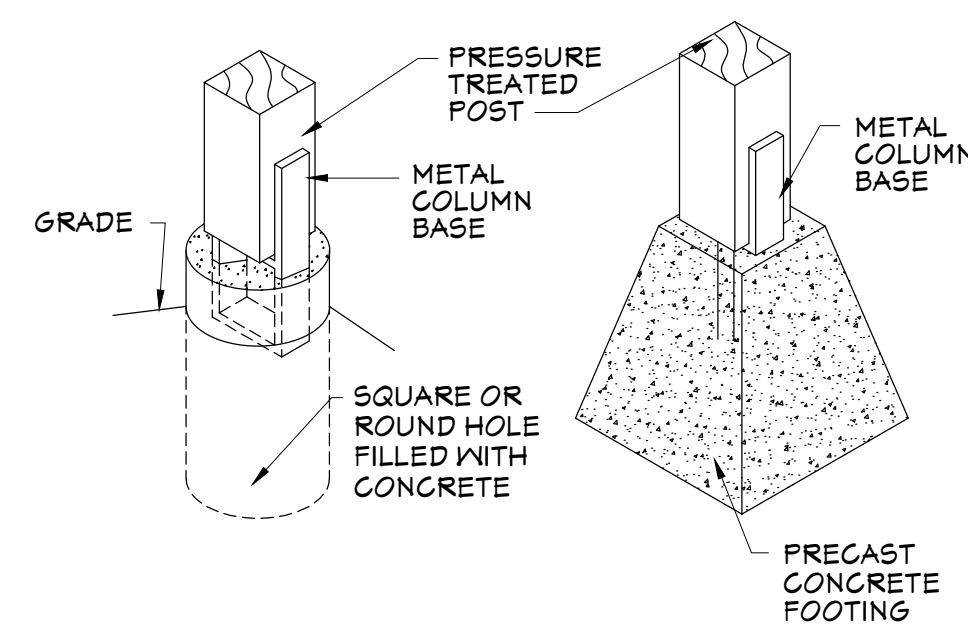
TYPICAL STAIR SECTION
SCALE: N.T.S.
2
A05



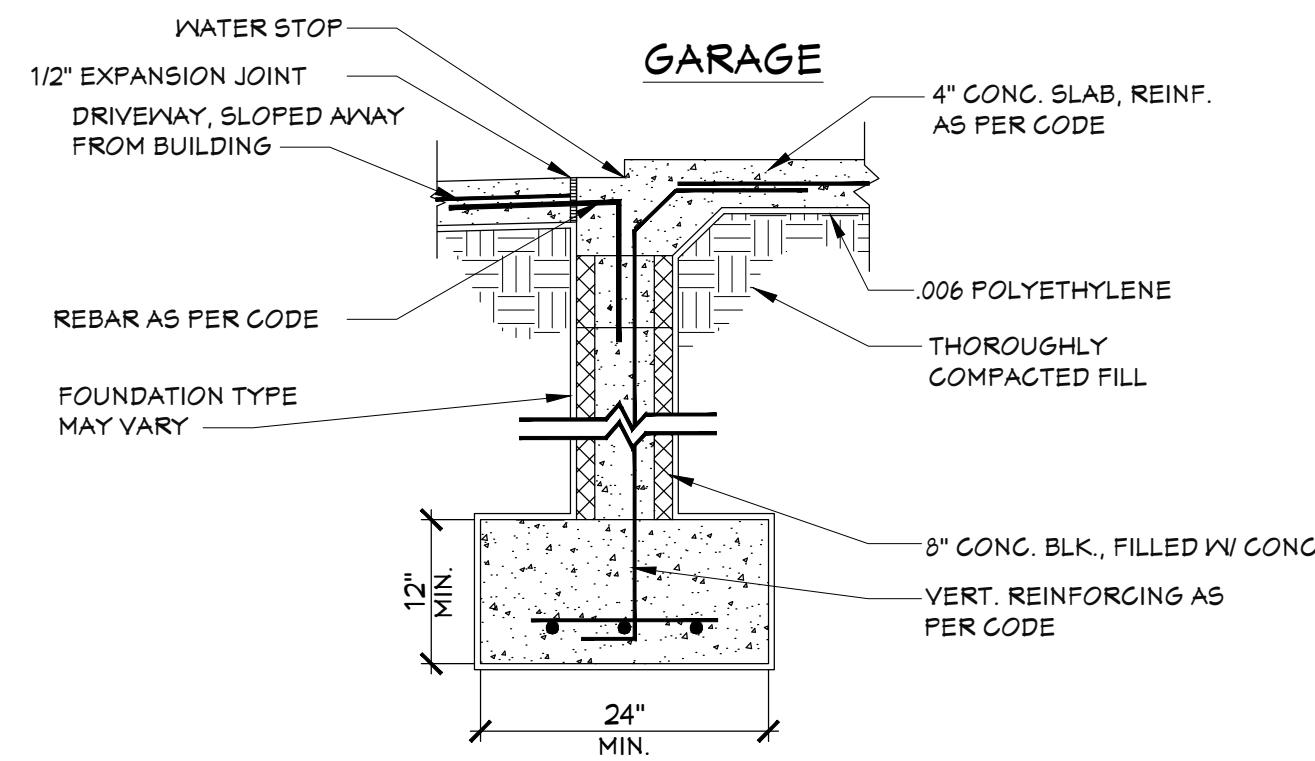
BEASEMENT SUPPORT
SCALE: N.T.S.
3
A05



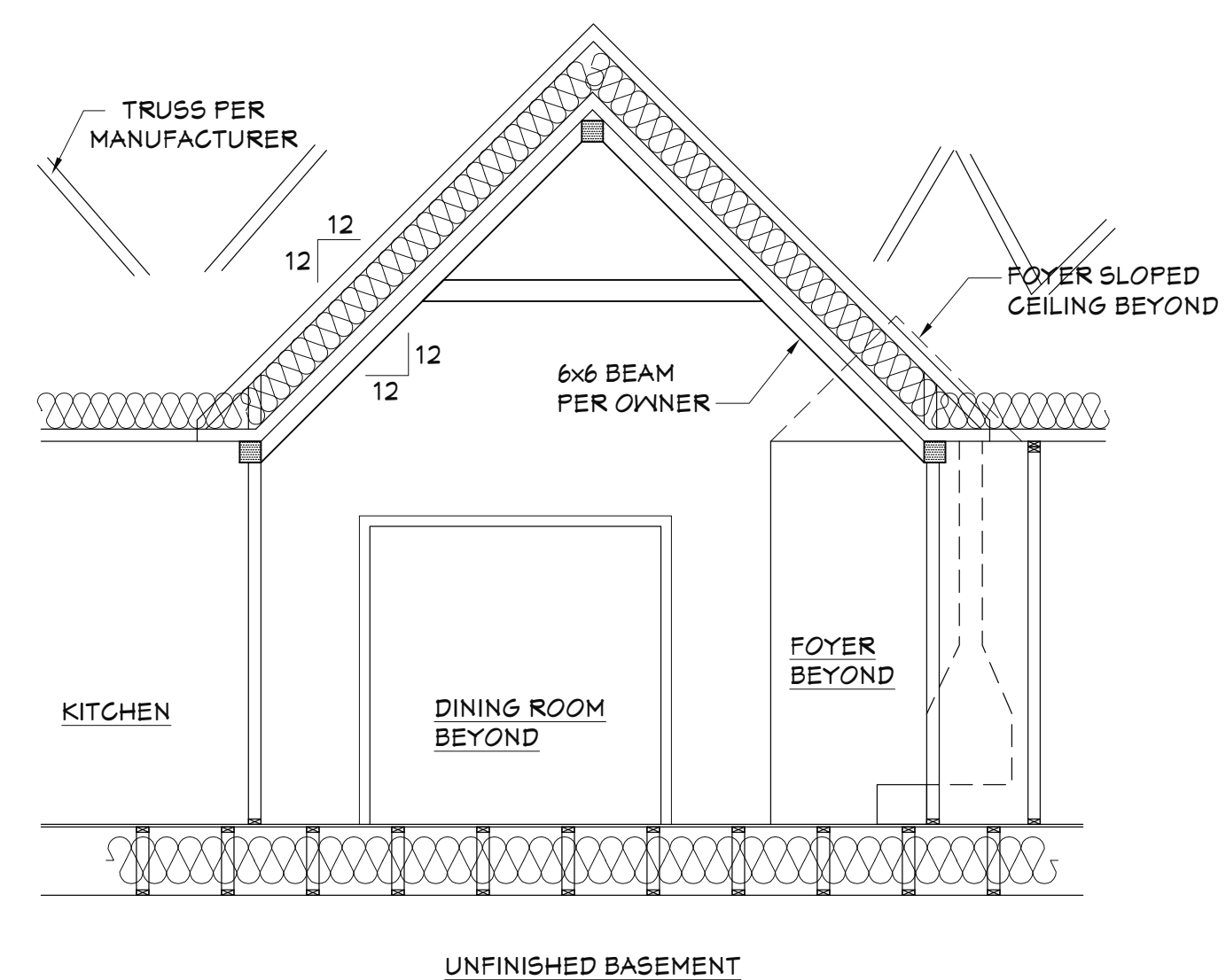
DECK ATTACHMENT
SCALE: N.T.S.
4
A05



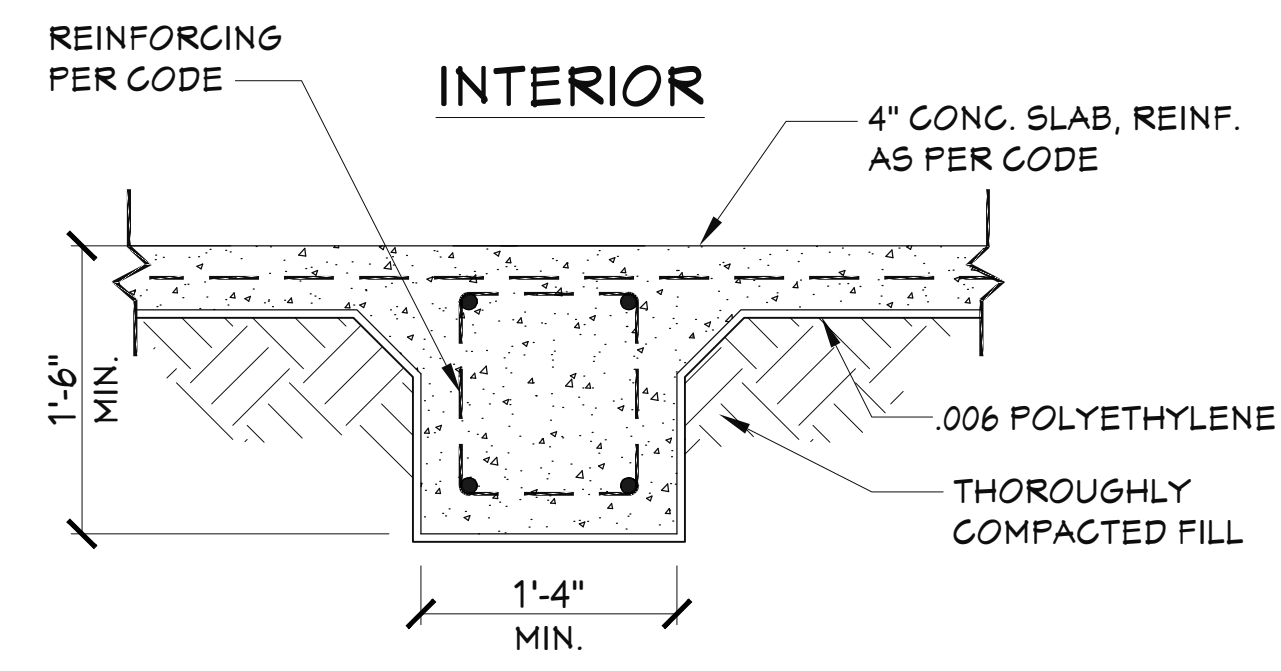
DECK SUPPORT
SCALE: N.T.S.
5
A05



WATER STOP
SCALE: 3/4" = 1'-0"
6
A05



SECTION @ FAMILY ROOM
SCALE: 1/4" = 1'-0"
8
A05



INTERIOR THICKENED SLAB
SCALE: 1" = 1'-0"
7
A05

Framing Lumber Specifications

Stress rated framing members shall be used which equal or exceed the following specifications. If lower grade lumber is used, excessive deflection may occur.

Fiber Stress In Bending (Fb) = 675 psi (Base Value) Modulus of Elasticity (E) = 1,400,000 psi

First Floor Joists 40 lbs. Live Load 10 lbs. Dead Load			Second floor Joists 30 lbs. Live Load 10 lbs. Dead Load		
SIZE	INCHES O.C.	MAX. SPAN	SIZE	INCHES O.C.	MAX. SPAN
2 x 6	12"	10'-3"	2 x 6	12"	11'-3"
	16"	9'-4"		16"	10'-3"
2 x 8	12"	13'-6"	2 x 8	12"	14'-11"
	16"	12'-3"		16"	13'-6"
2 x 10	12"	17'-3"	2 x 10	12"	19'-0"
	16"	15'-5"		16"	17'-2"
	24"	12'-7"		24"	14'-1"
2 x 12	12"	20'-7"	2 x 12	12"	23'-0"
	16"	17'-10"		16"	19'-11"
	24"	14'-7"		24"	16'-3"
Ceiling Joists 20 lbs. Live Load 10 lbs. Dead Load			Rafters 20 lbs. Live Load 10 lbs. Dead Load		
SIZE	INCHES O.C.	MAX. SPAN	SIZE	INCHES O.C.	MAX. SPAN
2 x 4	12"	9'-5"	2 x 6	12"	15'-10"
	16"	8'-7"		16"	13'-9"
	24"	7'-2"		24"	11'-3"
2 x 6	12"	14'-9"	2 x 8	12"	20'-2"
	16"	12'-10"		16"	17'-5"
	24"	10'-6"		24"	14'-3"
2 x 8	12"	18'-9"	2 x 10	12"	24'-6"
	16"	16'-3"		16"	21'-3"
	24"	13'-3"		24"	17'-4"
2 x 10	12"	22'-11"	2 x 12	12"	28'-6"
	16"	19'-10"		16"	24'-8"
	24"	16'-1"		24"	20'-2"
2 x 12	12"	26'-6"			
	16"	23'-0"			
	24"	18'-8"			

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TOTAL HEATED AREA:	2,245 SF
FIRST FLR:	1,945 SF
SECOND FLR:	N/A
FRONT PORCH:	120 SF
UNFINISHED BSMT:	1,800 SF
REAR DECK:	782 SF
GARAGE PATIO:	66 SF
CYRD DECK:	204 SF
BSMT PATIO:	782 SF

PLAN DESCRIPTION:
ROOF PLAN AND DETAILS
RESIDENCE FOR:
Chris Hendrix
Ben Abbott Rd.
Maryville, TN

JH DRAFTING & CONSULTING
1201 CHANCELLORS CT.
MARYVILLE, TN 37801
PH: (865) 388-4354

REVISIONS

NO.	DATE
#1	02-13-25
#2	-
#3	-

FILE NAME: Chris Hendrix-DeButty.dwg

DRN BY: JEH APPROVED BY: OWNER

PROJECT NO: 25-008

DATE: February 20, 2025

SHEET

A05

ELECTRICAL NOTES:

- MAIN FEED INTO HOUSE TO BE TRENCHED UNDERGROUND FROM SUPPLY POLE TO METER THEN MAIN DISCONNECT OUTSIDE.
- ALL SMOKE DETECTORS TO BE ELECTRIC POWERED WITH BATTERY BACKUP AND WIRED TO SET ALL ALARMS OFF IF ONE IS TRIPPED.
- ALL EXTERIOR, KITCHEN, AND BATH OUTLETS TO BE GROUND FAULT CIRCUIT INTERRUPT EQUIPPED AND ON A SEPARATE CIRCUIT.
- ELECTRICAL DISCONNECTS ARE TO BE AT A/C UNIT, CONDENSING UNIT, AND WATER HEATER.
- HEAT VENT LIGHTS ARE TO BE ON A SEPARATE CIRCUIT.
- OUTLETS, INCLUDING PHONE AND CABLE, MAY BE ADDED OR CHANGED UPON OWNERS REQUEST.
- ELECTRICAL CONTRACTOR TO VERIFY EQUIPMENT TYPE AND SIZE.
- INSTALL LIGHTS IN ATTIC SPACE W/ SWITCH AT FOOT OF DISP. STAIRS
- ELECTRICAL SERVICE TO BE A 42 CIRCUIT 200 AMP MAIN LOCATED IN THE GARAGE.
- A SUB-PANEL MAY NEED TO BE ADDED FOR ENOUGH CIRCUITS.
- HOUSE TO BE WIRED FOR A SECURITY SYSTEM.
- ALL KITCHEN OUTLETS ARE TO BE GFI EXCEPT APPLIANCE OUTLETS NOT EASILY ACCESSIBLE.
- ARC FAULT BREAKERS ARE TO BE USED IN ALL BEDROOMS.
- IF GAS FIRED APPLIANCES ARE USED IN HOME, CARBON MONOXIDE ALARMS ARE NEEDED (IRC R315).

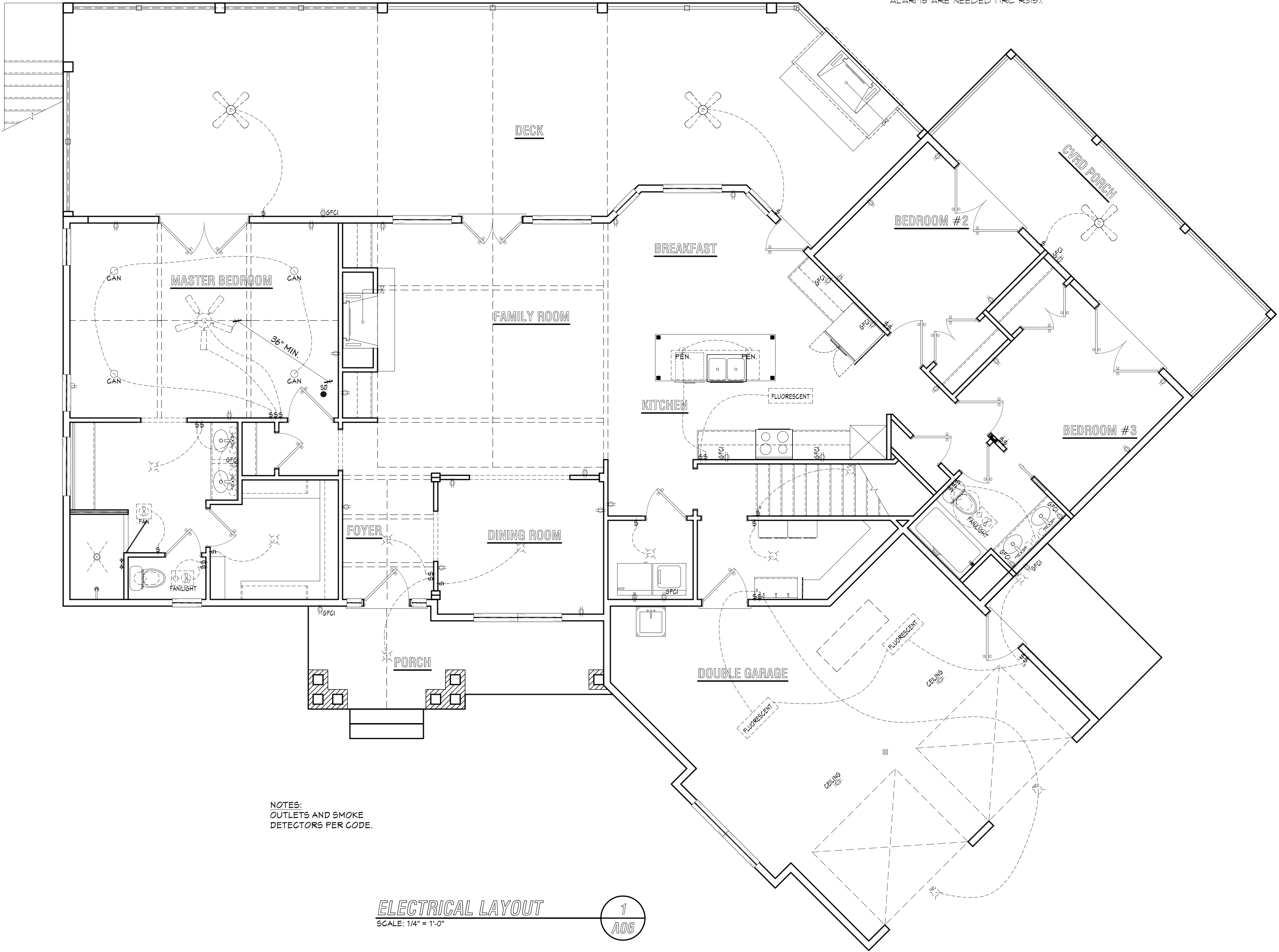
PRE-WIRE FOR THE FOLLOWING:

- TELEPHONE -ONE INCOMING LINE-
- CABLE VISION -ONE OUTLET PER ROOM MINIMUM-
- SECURITY SYSTEM - COORDINATE W/ OWNER
- COORDINATE ELECTRICAL SYSTEM WITH MECHANICAL CONTRACTOR
- ALL WIRING TO BE COPPER MIN. 12/2 W/ GROUND
- VERIFY LOCATION OF FLOOR OUTLETS IN FAMILY ROOM
- PROVIDE 110V OUTLET FOR GARBAGE DISPOSAL UNDER KITCHEN SINK
- PROVIDE 110V OUTLET FOR WHIRLPOOL TUB MOTOR UNDER WHIRLPOOL TUB IN MASTER BATH IF APPLICABLE
- PROVIDE 220V OUTLET FOR CLOTHES DRYER
- COORDINATE SURROUND SYSTEM W/ OWNER

LEGEND

ELECTRICAL:

- 110 WALL PLUG
- 220 WALL PLUG
- WALL SWITCH
- 3-WAY WALL SWITCH
- SMOKE DETECTOR
- CEILING LIGHT
- CAN LIGHT
- EXT. SCONCE LIGHT
- BATH EXHAUST FAN/LIGHT
- FLUORESCENT LIGHT
- CEILING FAN / LIGHT



NOTES:
OUTLETS AND SMOKE
DETECTORS PER CODE.

ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"

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A06

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AND SITE SPECIFIED HEREIN AND SHALL BE RETURNED AT REQUEST.

TOTAL HEATED AREA:		2,245 SF
FIRST FLR:	1,945 SF	782 SF
SECOND FLR:	N/A	66 SF
FRONT PORCH:	120 SF	204 SF
UNFINISHED BSMT:	1,600 SF	782 SF

PLAN DESCRIPTION:
ELECTRICAL
LAYOUT
RESIDENCE FOR:
Chris Hendrix
Ben Abbott Rd.
Maryville, TN

DRAWN BY:
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